

**Conservation and Management of Historic
Advanced International Training Program 2009/2010**

Safeguard a Monument from Threats

Conservation & Maintenance plan of Tippu Tip House
in Stone Town of Zanzibar

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March 2010

Abstract

Stone Town of Zanzibar is a UNESCO designated World Heritage city since 2000. However, state of conservation of the town is poor. The town faces development pressure, lacks proper conservation and management plan, and experiences extensive change of land use. Consequently, most of its historic buildings are deteriorating.

This paper describes the situation of historic building in Stone town. Specifically, it deals with Tippu Tip house, a resident of famous 19th century slave trader and land proprietor. The building is registered as a Grade 1 monument as per conservation Act and regulations of 1994. However, it lacks conservation and maintenance plan and suffers inappropriate and over uses, vandalism and decaying.

This conservation and maintenance plan proposes a methodology to safeguard values of Tippu Tip from threats. It also intends to mobilise stakeholders to save the historic buildings in the town. Its goals and ambitions are inscribed in overall objective to safeguard cultural heritage of Stone Town.

The plan starts by describing the context and by examining technical situation of the building. It continues with values analyse, and proposes adequate re-adaptive use for the sustainable management. It also lies down ideas for a policy making to safeguard the cultural heritage of the Zanzibar.

Introduction

Background

The Object: Location

Situated about 35km of the Mainland, Zanzibar Archipelago is part of Tanzania. It has two main Islands, Unguja, commonly known also as Zanzibar and Pemba. The archipelago (fig. 1) has a total population¹



of about 1 Million inhabitants and an area of 2,332 Km² (Unguja 1660 km² and Pemba 868 km²). Zanzibar town, the capital of the archipelago is located in the western part of Unguja Island (fig.2). It covers a total area of 16km² (1982 Master plan)² with a population of about 300 000 inhabitants. It is composed of two parties: Stone town, the old part, and Ng'ambo, which include the periphery.

Figure 1 Archipelago of Zanzibar

Stone town (fig. 2) is the core of Zanzibar town. This old town is located in the most western edge of Zanzibar town. It covers total area of 96 hectares and buffer zone area of 84.79 hectares, which make about 5.4 % of the total area of Zanzibar town³.

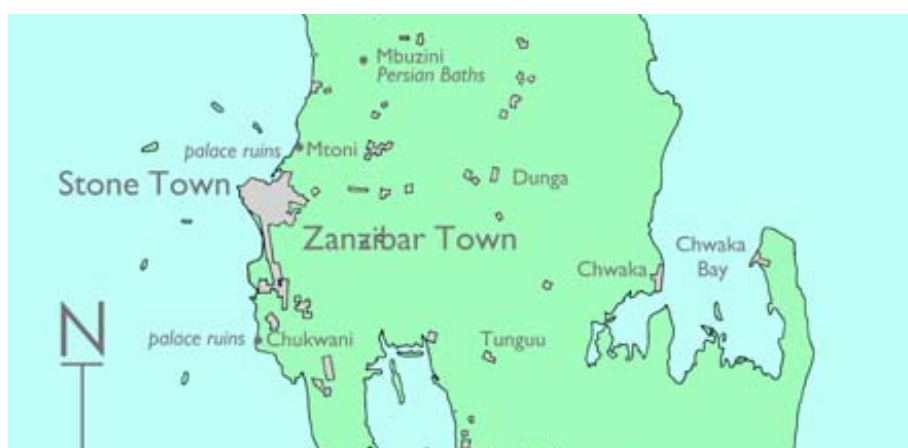


Figure 2 Location of Zanzibar Town and Stone Town

¹ 2002 censer

² Since 1982 the Zanzibar town has expanded to 21km² but this boundary is not yet officially known as Town boundary –COLE 1993.

³ See Appendix 1

With only 20 000 residents⁴, Stone town makes about 5 % of the population of Zanzibar town. For planning and conservation objectives, Stone town is divided into eleven zones⁵.

Located at the western part of Stone town, Shangani (fig.3) is one of the most important zones. It has important buildings of architectural⁶, aesthetical, and economic values. Following tourism development since 1980, Shangani is a touristic area with shops, hotels, and restaurants. Tippu Tip house, one of the “Arab palaces” in the town, is located in Shangani zone.

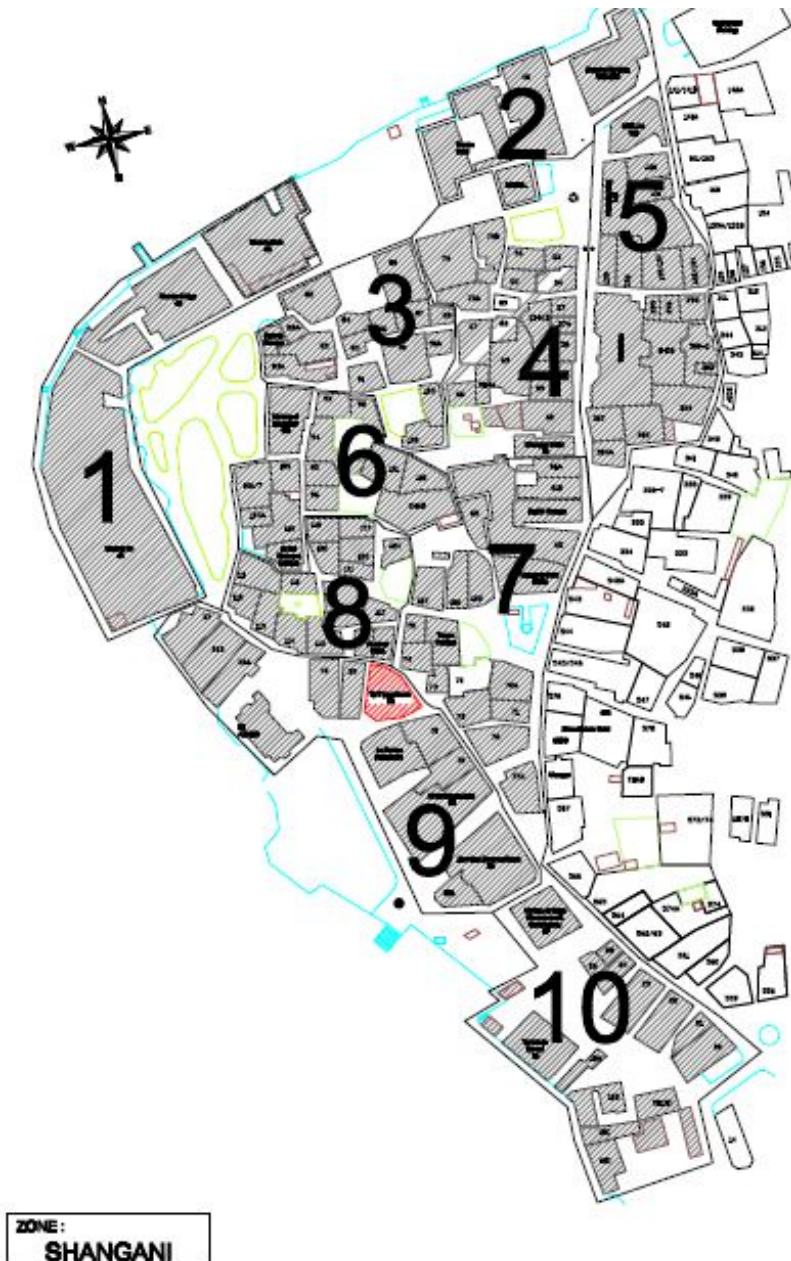


Figure 3 Shangani zone with Tippu Tip house in red colour

⁴ There is assumption that during the day time the population of Stone town rises to about 150 000 inhabitants

⁵ See Appendix 2

⁶ There are three architectural types in Stone town: Indian type; Arab type and Swahili type.

The Object: Setting

Ahmed bin Mohammed el Marjebi (1837-1905) alias Tippu Tip (fig.4) is a famous name in Zanzibar. He was one of the richest landlords, trader and planter of the Islands. He participated in the slave trade, and played a part in the history of African exploration in the early 1870s. His resident, Tippu Tip house (fig 5.) is one of the most famous historic buildings and an outstanding example of 19th century Swahili architecture. It is also a landmark of Stone town.



Figure 4 Ahmed bin Mohammed el Marjebi, Alias, Tippu Tip

Tippu Tip house is a typical 19th Swahili architecture composed of a mixture of architectural features of Arab, Indian and European influences. It is a four floors building with two entrances, a balcony, a terrace view facing east, and a tearoom on the top floor. It has been constructed with coralline lime stones, lime mortars and decorated with timber in ceilings and occasionally over openings. The building meets the definition of historic building.⁷



Figure 5 Tippu Tip House

As per conservation and development Master plan of 1994, Tippu Tip house is one among the 26-gazetted monuments and Sites of Stone town. Therefore, it is protected by conservation Act and regulations of 1994⁸. The building demonstrates very well the 19th and 20th century Europe's influence in Swahili architecture. For example, its second floor of the building is an additional storey with big metal windows to let more light and ventilation. It has also a teahouse and a balcony that became popular in the late 19th century. The door of Tippu Tip house is among the most beautiful pieces of art of craft in Zanzibar (fig.6).



Figure 6 Door of Tippu Tip house

⁷ FEILDEN, Bernard, 2008, Conservation Historic Buildings, Elsevier

⁸ Aga Khan Trust for Culture, 1996, *Zanzibar, a Plan for the Historical Stone Town*, Geneva,

Located in the most touristic areas of the town, this historic building has also acquired an economic value. This is because important hotels, touristic shops, and touristic areas are located in Shangani zone. For its setting (fig 7), spatial configuration, and context the building has economic opportunities, as well as challenges and pressure of development from visitors, entrepreneurs, and vandalism.



Figure 7 Setting of the Tippu Tip house

The Object: history

Stone town is a commercial, social, and cultural centre of the Zanzibar. Until the end of the 19th century, the town was the main hub of a wide commercial network, which linked Africa, India, and the Persian gulf. The network controlled a commercial empire under the domination of the Sultanate of Oman who claimed the ownership of large territories of the hinterland from the south of Somalia to the north of Mozambique, and from the Indian Ocean coast to Lake Tanganyika in the Mainland. The 19th-century European scramble for Africa and British colonialism put an end to the empire and changed the role of the Stone town.

The history of commercial activities in Indian Ocean is long and beyond the scope of this work. It dated back to 2nd century. Yet, it was only Portuguese occupation in 16th century and Arab domination in 18th century, which left significant impacts on social and spatial structures of Zanzibar, especially Stone town. The commercial activities⁹ facilitated and accommodated a fusion of culture and civilization of Indian Ocean and beyond. All residences, Indians, Arabs, Africans, and Europeans who inhabited the town at the time participated in its configuration and construction as it can be observed in the towns' features today.

⁹ SHERIFF (Abdul), 1987, *Zanzibar, Slave, Space and Ivory : Integration of an East African Commercial Empire into the World Economy, 1770-1873*, Tanzania Publishing house, Dar-es-Salaam,

Nevertheless, 1840 is one of the important dates concerning development of the town. In this year, the Sultan of Oman, Sayyid Said, shifted his capital from Muscat to Zanzibar. Sayyid Said came with important number of inhabitants of Muscat, but also invited other migrates from Indian Ocean, and from Europe to Zanzibar. The direct contact between the Sultan of Zanzibar and western power, especially British Empire, was advantage for the development of the Zanzibar, especially Stone town. The discovery of new world in America and other areas created a demanded of slaves where the town was a point of sell and transport. All of these brought prosperities and new ideas to the town and to its inhabitants.

In the late 19th century, Ahmed bin Mohammed el Marjebi, alias Tippu Tip was one of the richest inhabitants of the Stone town. Involved in both caravan and slave trades, Tippu Tip was an example of the richness and prosperity of Zanzibar. Like most of his contemporaneous, he owned a land in the countryside and a “Palace”, Tippu Tip house in Stone town.

Following the British protectorate in 1890, Zanzibar had its independent in 10 December 1963. However, in January 1964 there was a revolution, which removed the Sultan from political power. The revolution provoked a massive exodus of original residents of the town, consequently modified its social and economic patterns. Economic difficulties and political instabilities in the 1970 influence the abandon of town and its historic buildings. Lack of maintenance and investments lead to the collapse of the buildings. In 1982, Chinese planners¹⁰ estimated that in average 50 buildings were collapsing each year.

The 1964 Zanzibar revolution brought big changes, particularly in land tenure system. Since 1964, Zanzibar government is the only owner of the land. The government nationalized all properties of the Sultan and rich proprietors. Most of the buildings in the town became public, and managed by a newly established Department of houses. Tippu Tip house is one of the nationalized buildings.

Although the government established the Department of houses, the management of nationalized buildings is problematic because of the lack of financial resources. The new tenants, most of them from rural area, were very poor to afford the running cost of the buildings. The new established rent was also not enough to maintain the financial need of buildings; consequently, most of them were abandoned.

¹⁰ Zanzibar Town Master Plan, 1982, Zanzibar Government

The urgent situation to safeguard the historic buildings and the Stone town itself alerted the government to create a body to take care of the Stone town. Following UNCHS advises¹¹, in 1985, the Stone Town Conservation and Development Authority (STCDA) was created and the idea of historic town was reinforced. Hence, since 1980's three phenomena have been developed in the town. The first is the conservation effort with the establishment of STCDA in 1985, the second is the adaptation of Conservation Act and Master plan in 1994 and finally, the inscription of Stone Town as World Heritage Site by UNESCO in 2000.

Yet with all of these efforts, the situation of the Tippu Tip house has not changed. The building lacks financial resource, conservation and maintenance plan, management system and sustainable uses. This plan is one of the efforts initiated by the author, who is working in the Planning and Conservation department of STCDA, to mobilize fund to safeguard the historic building and its values. It is part of overall objective of the STCDA to save the most important heritages of the Zanzibar from threats.

Context of the Tippu Tip House

Interventions on the building during the time

Until 1964, Tippu Tip house used to be a residence of the owner's family only. Following the nationalisation, it was changed to a public apartment house. Until late 1980's, three families used to live in the building. Yet as its state of conservation become poor and poor, the old tenants leave and the new more poor tenants arrive, subsequently the building becomes more and more like a squatter. Today, Tippu Tip house has only one official tenant and many squatters.

The change of uses from the single-family resident to multi-families apartment house has affected considerably the building. It is so because the building was not prepared for such changes of uses. Services areas used by one family are now serving more than 10 families; consequently, the building takes extra pressure. The poor condition of stair (fig. 8), toilets, and cooking areas prove this situation. They are the most deteriorate and damaged parts of the building because of the over uses.



Figure 8 Stair in very poor condition

¹¹ UNCHS, 1983, The Stone town of Zanzibar, Strategies of Integrated Development, Technical Report

Yet before the current change of uses, Tippu Tip house had also undergone intervention, which modified considerably its structure and architectural configuration. Like many historic buildings in Stone town, Tippu Tip house does not have a plan or a known architect. As local professionals like to believe, this phenomenon represents the basic characteristic of the Stone town: a town with architectures without architects. Nevertheless, an analysis of the building and its roof structure give an idea of the intervention. These changes make Tippu Tip house a fascinating example of an evolution of building style and technique in Zanzibar.

The inspection on ground floor reveals the extent of first intervention. Arches on this floor were trimmed to remove the original stair (fig.9a) and to abandon the courtyard, consequently new spaces 2 and 3 (fig. 9b) were created:

1. Original design areas and its structures
2. Court yard which has abandon to create large hall on the second floor
3. A new space, which has been created to accommodate the only stair of the house.

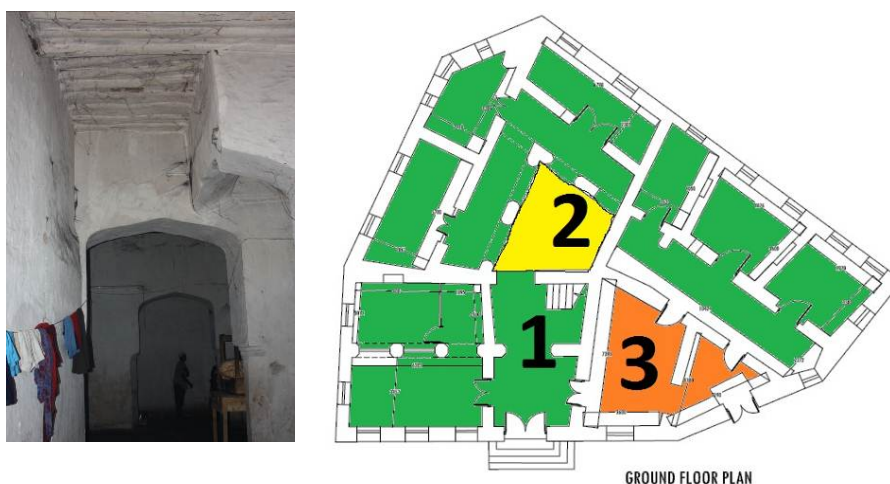


Figure 9a The remaining of the trimmed arch. Fig 9b Two new spaces: numbers 2 and 3

The main consequence of this intervention is the relocation and changes of the vertical circulation of the building. It seems that originally the access to the second floor was done around the courtyard (fig.10). With its abandoned, the new space was created to accommodate the new stair. In reality, this intervention has deprived the building one of its important elements. It has also created a nonstandard, which makes the vertical accessibility of the building complicated.

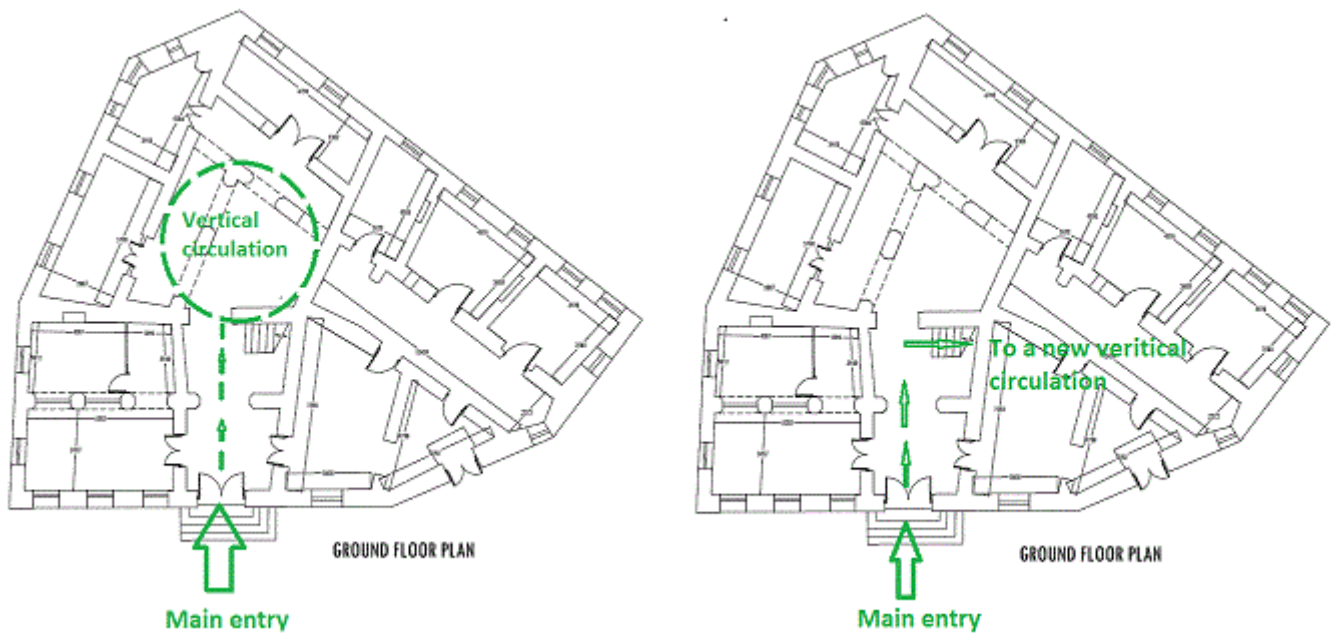


Figure 10 Changes in the vertical circulation

The roof (fig. 11) shows also sign intervention where two roofs were combined to make one. The intervention enhanced the monumentality of the building, but deprived its two important elements, namely courtyard and original stair. For such kind of building, the courtyard is very important for air circulation and light. Today, the building is very dark in the ground floor and the existing stair is very small for its uses.



Figure 11 Changes on the original roof structure

Definitely, the owner had had special reasons for such intervention that lead to abandon of the original stair and the courtyard. By analysing the spatial configuration of the building and its facilities, one can guess that Tippu Tip was found of the modernisation. It seems that the possibility of having modern house with spacious living area was very important. Physical inspection suggests that the owner changed the building to accommodate the then modern ideas of spacious living spaces (fig.12).



Figure 12
Living space
obtained
following the
intervention.

Intervention and functionalities of the building

In fact, technical observation shows that the first intervention did not damage the building, but modified its form and aesthetic values. The changes were part of influence of the late 19th century on aesthetic, materials, and techniques of construction in Zanzibar, especially, steel material from Europe, and wooden technics from India. This is good example of the production of cultural artefact¹². In this building metal structures were used to expand the span of some rooms (fig. 13), and wooden balcony were added (Fig 14).



Figure 13 Metal structure to expand span

The interventions were huge but motivated by new functionalities, well accommodate by the users of the house. In fact, it is only through critical observation of the drawings and structure of the building that one can realise some of them. Even the cutting of the arches and the abandonment of the courtyard are not experienced openly. Furthermore, the intervention added new values, such as spacious spaces, teahouse, and balcony. The most important of all was that the building was well maintained.



Figure 14 Balcony in bad condition

¹² Jokilehto, Jukka, 2008, A history of Architectural conservation, Butterworth Heinemann, Elsevier

Following the revolution of 1964, and to accommodate new tenants, the building had new interventions. New services areas and many partitions were added to allow more families to leave together. The interventions were not properly designed. Services areas like wet and cooking areas (fig.15), were introduced inappropriately. With the time, they caused damages to the building. Lack of maintenance and of proper care have also affected the building seriously. In reality, the Tippu Tip house has become dangerous to its own tenants. However, the poverty and the lack accommodation in Stone town, force poor people to continuous use it every day.



Figure 15 Cooking area introduce with new tenants

As far as functionality is concerned, the building cannot maintain its current situation. There is a need of conservation and maintenance plan to correct the current dysfunctions. The building does not have enough spaces to serve the need of all of its tenants. The situation of



all services areas such as toilets (fig.16) is very bad. Technically, there is also a need to restore all services areas to function properly. The existing stair can no longer be used in such condition. The existing toilets need a complete renovation, quickly. Aesthetically, the lack of maintenance and care has finally damaged most important architectural features of the building. The actual situation of the balcony and teahouse is dangerous even to the pedestrians.

Figure 16 Typical situation of toilet

Values of the Tippu Tip House

Stone town of the Zanzibar is a UNESCO designated World Heritage Site since 2000. Three criteria (ii, iii, vi) have been used to inscribe the town in the World Heritage List. They can be summarized as cultural fusion, maritime settlement, and involvement in the abolition of slave trade. This building is directly related to all of these criteria. Despite

of changes, still it has architectural and aesthetic values. In brief, the following are its values:

Values	Description
Historic	Historically, Stone town was used as a port or market of the slave trade, which contributed to the development of Zanzibar. Tippu Tip himself was one of the merchant who had been involved in this trade. As cultural artefact, the building represents a reality of its time. Its presence is also a historic testimony for the future generations.
Cultural	It was part of the culture of some inhabitants in the 19 th century to build teahouse in rooftop, to add Indian balconies in their houses or to introduce European modern materials in their construction. This building has all of these elements. It presents changes and fusion of different cultures.
Architectural	Tippu Tip house represent also the architecture of the 19 th century in the town. It characterised inspiration and adaptation of different elements from Europe, India, and Gulf countries to create a new style that can be named as Swahili style.
Technical	The building has also technical value in its inventive ways to integrate new construction materials and techniques. The creation of new spaces inside the building shows also the skilfulness and maturity of the local artisans.
Artistic	Zanzibar, especially Stone town, is known for its decorative doors. These doors have different style and used in commercial or residential spaces. Some of them especially front doors represent important piece of craftsmanship in the town. Tippu Tip house's door is one of the most beautiful doors in the Stone town.
Identity	Tippu Tip represents the most controversial part of the identity of these Islands. Like his contemporaries, he participated and became very rich out of the slave trade. As such, the existence of his building maintains the reality of this dark part of the identity of Zanzibar
Economic	With tourism economy, the history of slavery has become an element of the curiosity and commodity to many tourists who visit the Islands. The building has also become a point of visit.
Pedagogical	The building has pedagogic values in teaching the reality of slave trade and its consequences. It can

	also be used to study the evolution of architectural style and technics in Zanzibar.
Symbolic	It is a symbol of a period and mentality of an époque where slave trade was considered like any commercial activity.
Patina	The building has a lot of patina especially the front door and the marble used in the first floor.

New Proposal

Analysis of technical situation of the building

As a public building, Tippu Tip is protected for privatization. It is also a Grade 1 as per 1994 conservation Act and regulations. This means its conservation and maintenance has to follow special criteria as stipulate in conservation regulations: “No *alteration or additions, either externally or internally, will be allowed to grade 1 listed building, except in exceptional circumstances as authorised by the authority*¹³.” Under these two conditions, being public and Grade 1 building, the conservation and maintenance plan of the building become more complex in term of financial resources and functionalities. Yet, an analysis of the current situation of the building shows that it cannot be sustainable under its current uses.

Today, the building suffers damage of over uses, unplanned uses, and lack of maintenance. All aspects of the building except its structural stability have been damaged. The following is the observation of its technical situation:

- **Foundation:**

All buildings in Stone town have similar system of foundation, namely strip foundation. Normally, a trench is prepared to follow the outer walls and room’s partition. It is therefore logic to believe that Tippu Tip house has similar foundation. Without further examination, one can also assume that the foundation of the building is in good condition.

- **Walls**

In Stone town, buildings are constructed with load bearing walls. Usually, the walls of first floor are larger compared to that of upper floors to allow the possibility of having extra floors. In average wall are of 70 cm. The technical situation of the walls of the building is not good. They may be structural stable but need a major repair (fig. 17).

¹³ Aga Khan Trust for Culture, Ibid,

Figure 17 Condition of the wall inside the building



▪ Slab

One of the most important technique of the construction in Stone town is the uses of “mangrove pole” to hold stones slab. Before the availability of iron materials, all buildings were constructed with mangrove poles slab. This construction material has two weaknesses: its span capacity and its life span. Normally, mangrove pole cannot span a room of wider than 2.5 metre. The life span of this organic



material is also limited from 5 to 10 years, before replacement. Furthermore, under its regular life span, it needs regular monitoring to inspect its condition against insects and decaying. In Tippu Tip house, two types of slab materials have been used: mangrove poles and T-section cast-iron material (fig. 18). The iron materials have been used to increase the wideness of the room (fig. 13) but most of time, mangrove poles are the main materials.

Figure 18 Slab with missing mangrove poles

▪ Opening



There are also two type of opening in the building. The normal opening for doors and windows and opening for arches. Door's and window's opening have not been affected. The arches are of good condition as well (fig 19).

Figure 19 Arches opening, the photo shows also the courtyard, which has been abandoned to create a leaving space.

- **Timber elements**

The most affected materials in the building are the timber elements. Door, windows, mangrove poles, stair, and balcony are all in very poor condition. These are also important features of the building for its aesthetic and artistic values, their poor condition affects the state of conservation of the building. The teahouse, which is also the important element of the building on top floor, is in timber. Yet the situation of the teahouse (fig 20), the front balcony, and the stair is of extremely poor condition.



Figure 20 Teahouse used as a squatter

- **Floor**

Floor is of three types: marble, wooden floor, and lime floor. In the ground floor, the owner used black and white marble (fig 21), which used to be prestigious material of construction in his lifetime. The ground floor is in very bad condition. In the upper floors, there are also two kinds of materials: wood and lime. Wooden floor have been used in most important room, its condition is very bad. Today, lime floors are very rare in the building because they have been replaced with cement floor. They are also in bad condition.



Figure 21 Original marbles in poor condition

- **Roof**

Roof was one of the most damaged elements of the buildings. The rain condition of the Islands makes the building very vulnerable. It needs a quick replacement.

Other elements of the building, which are in very bad condition, are services areas: toilets, bathrooms, kitchen, laundry, and even some leaving rooms. Most of them have been affected by over used or miss used.

- **Toilets**

Today, the building have three toilets one in each floor. However, the over uses and lack of maintenance have damaged them.

- **Bathrooms**

Bathrooms are within toilets areas. The uses of water in these areas have made them the most vulnerable and problematic spaces of the buildings. In Stone town, wet areas are the one that create damage and sometime cause collapse of building because of the leakage.

- **Kitchen**

With the increase in number of the tenants, the number of kitchens has also increased. The absence of special areas located for cooking have pushed the tenants to uses other spaces such as corridors, for that purpose. This situation creates a danger and damage to the building (fig. 22)



Figure 22 Leaving space uses as a kitchen

This technical analyse of the building gave detail picture of its current uses. However, its spatial analysis and its status as Grade 1 building do not necessary allow whatever kind of re-adaptation. Again, this makes the conservation and maintenance plan for this monument more challenging.

Conservation and Maintenance plan of the Tippu Tip house

The technical analysis of the building was done in parallel with the examination of its spatial configuration. The existing plans below (fig. 23) show the current situation and indicate intervention during the history. They also offer possibilities to evaluate the eventual new re-adaptation. The combination of technical and spatial analyses was very important to appraise the potential of the building. This has also offered an input in the SWOT analysis before the proposal of new re-adaptive uses.

Any conservation and maintenance plan has to look at these aspects to have full understanding of the building and its potentialities.

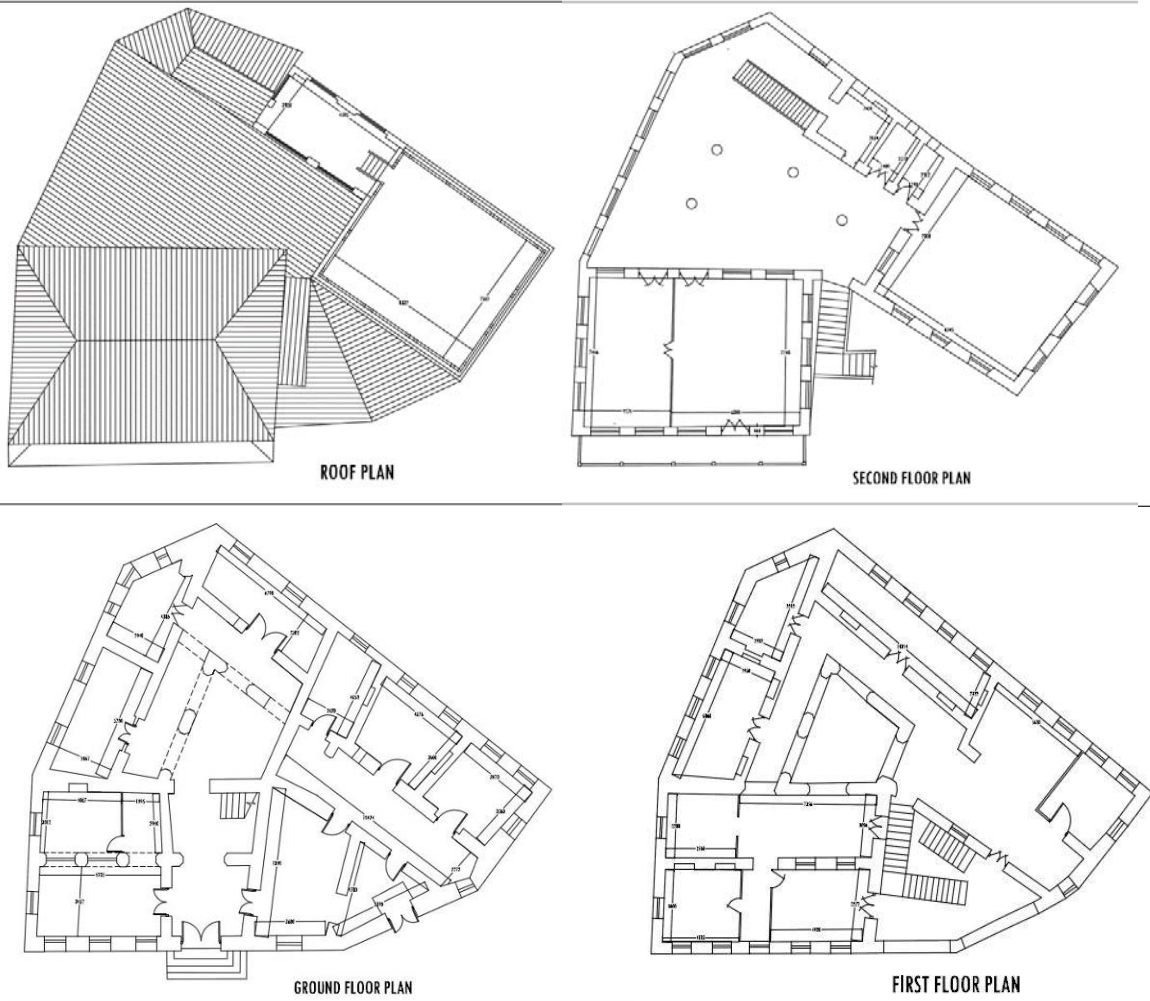


Figure 23 Existing plans of the Tippu Tip house

The SWOT analysis of the building offers further inputs on how to maintain and manage it under its current situation. It gives also an occasion to discuss the plan for conservation and management. Furthermore, it offers ideas on the future used of the building. The analysis looks at the building and its sustainability.

Strength	Weakness
<ul style="list-style-type: none"> - The building is a monument - It is a symbol of the slave trade - It has historic significant because of its owner - It is a public building which can be leased for long period of time - It has architectural and artistic values 	<ul style="list-style-type: none"> - It is in a very poor condition - It cannot be used as private building - It needs a huge investment - It does not offer the possibility to be used for whatever sort of activities - It necessitates a major conservation and maintenance work

Opportunity	Threats
<ul style="list-style-type: none"> - It offers opportunities for new social or cultural uses - It is located in a strategic position for investment - It has economic potential in a tourism industry 	<ul style="list-style-type: none"> - It has possibility to suffer further damaged if nothing is done - It is now vandalized by the squatters

Following the analysis, the department of planning and conservation in the STCDA took effort to propose some solution to maintain the monument. Three criteria were used to preparing this plan of the building: the need to change the current uses, the need to maintain the building as public, and the need to look for sustainable solutions. Within these criteria, a new plan was proposed.

New proposal

For the building to be in good state of conservation, a new sustainable uses is proposed. However, as the SWOT analysis shows and as per conservation regulations, the building cannot take whatever uses. It has to be public and sustainable use. For that reason, even if the Tippu Tip house is located in the touristic area, it cannot to be a touristic space, such as a hotel. Following the technical and spatial analyses, the building can no longer be used as residence because this use will requires more partitions of the interior spaces. This will entail more intervention that may damage the monument. Again, as per the conservation Act and regulations, the Grade 1 building should not undergo major changes interior and exterior.

Sustainability is an important factor in the maintenance of any historic and heritage building. Following the 1964 revolution, many buildings in Stone town were turned to public buildings without proper maintenance funds. The Department of houses depends on rent of the tenants to maintain these buildings. Since the rent is not sufficient, many of the historic buildings in the town were slowly abandoned to the tenants who happened to be poor. To avoid this, the management and maintenance plan of the Tippu Tip house should be sustainable.

Following public debate and discussion with different stakeholders, an idea of changing the uses of Tippu Tip house to a “Cultural Centre” was adapted. Although the new plan has sustainable strategies, it lacks financial resources for the conservation works needed. So far, the government is discussing on how to finance the proposed idea (fig. 24)

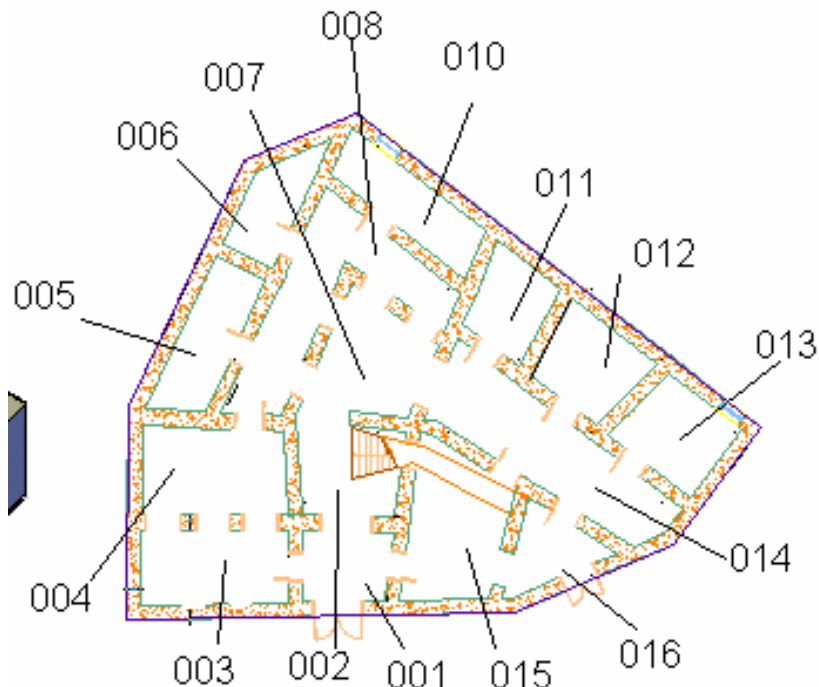


Figure 24. New proposal for the ground floor

Following are new facilities proposed in the Cultural centre:

Space	Facilities in the ground floor (fig. 24)
001	Entrance of the building
002	Entrance hall
003-004	Part of the Museum for Slave history in Zanzibar
005	Office area
006	Court yard which has been changed by the owner will be reintroduced
007	Court yard area for circulation
008	Temporary exhibition spaces
010-013	Part of the Museum
014	Part of the Museum
015	Shop
016	Exit

The first floor of building has been located mainly for the social activities. As the plan below shows, the idea is to have a minimum intervention so as not to disturb the structure and the authenticity of the monument.

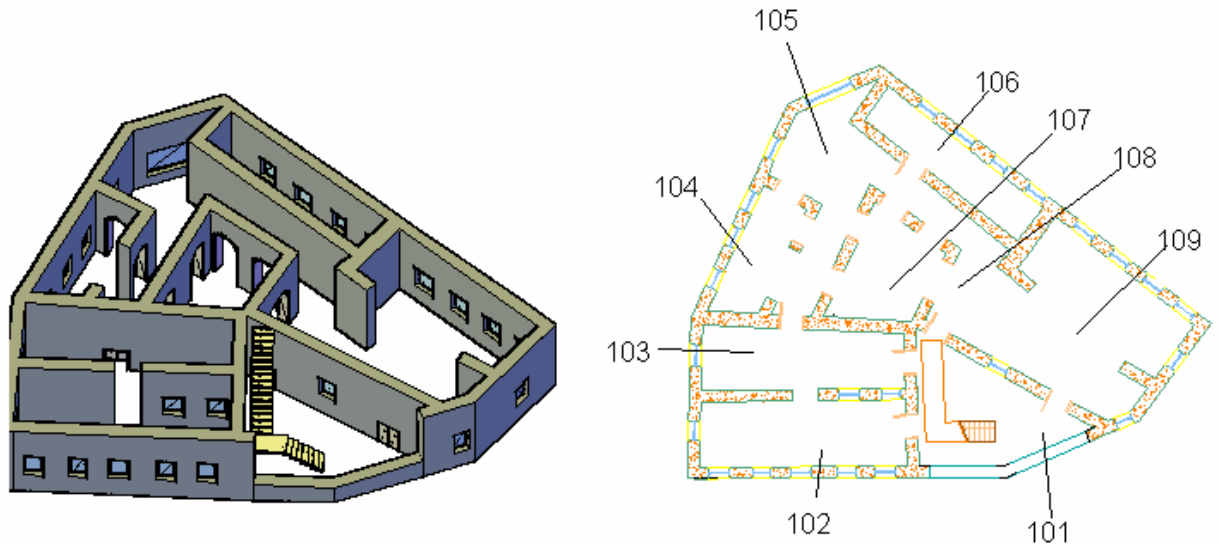


Figure 25 New proposal for the first floor

Following facilities are proposed in this floor:

Space	Facilities in the first floor (fig. 25)
101	Area for stair that will be also used as garden area.
102-103	Workshop area
104-105	Part of the Library
106	Service area
107	Courtyard
108	Exhibition area
109	Part of the Library

The second floor was also allocated for cultural uses. In reality, only two important rooms are available in this floor, connected together by very huge living space with important vista to the sea. This space has the potential to be a multipurpose hall for activities that require huge number of participants. The second floor gave also the possibilities to allocate services area.

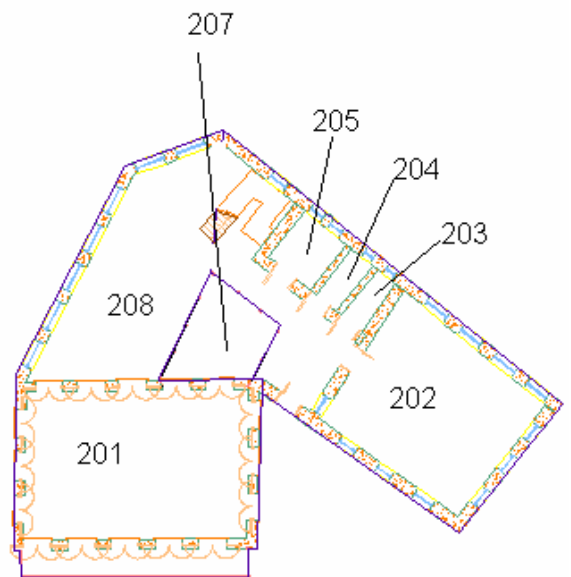


Figure 26 New proposal of the second floor

Space	Facilities in the second floor (fig. 26)
210	Social Space
202	Multi-purpose hall
203-205	Service areas
207	Courtyard
208	Social area

The conservation and maintenance of Tippu Tip needs also a sustainable program. For that purpose, the third floor was allocated for activities that will provide fund for the Cultural centre. The teahouse with a beautiful vista of the town and sea will be re-adapted to a restaurant and café.

These facilities, together with the shop and museum, will offer substantial fund for the management of the building to sustain future maintenance works. As the plan shows (fig. 27), the third floor has only one activities and its service area.

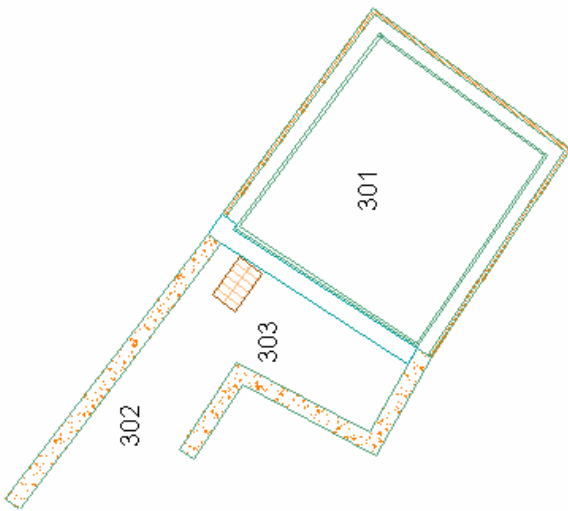


Figure 27 New proposal of the Teahouse

As the plan shows, the main issue is conservation and maintenance. Therefore, with the exception of the few opening proposed to increase lighting in the building, no new addition is proposed. This is because the building itself does not allow major intervention as per conservation regulations. It also because the facilities provided are well accommodated in its existing spatial configuration.

Sustainability of the plan

Method

Conservation and maintenance plan identifies meaning and needs, interprets significances, and sets guidance for the maintenance of the object. This conservation and management plan of the Tippu Tip house has similar overall objectives. The author has collected information and analysed the current situation of the building for a

sustainable future uses of the building. Several methods have been exploited for such objective: research work for proper documentation, physical inspection of the building, meeting with stakeholders, discussions with authorities responsible of the management of the building.

The owner of the building, Mr. Ahmed bin Mohammed el Marjebi alias Tippu Tip is a historic figure in the Islands. He was not only famous, rich and influential person to the Sultan of Zanzibar in 19th century but also good voyager. He was among the very few voyager of his time who left his own biography. Tippu Tip wrote a book¹⁴ to talk about his life and that of his époque.

The Slave trade is very sensitive issue in the Islands of Zanzibar. The Revolution of Zanzibar has created also an atmosphere that complicated the healing process between the descendants of slaves and those of masters. Yet the identity of Zanzibar cannot be described without evoking slavery. All of this makes the understanding of this monument complex and sensitive. For objective historic information, research of proper documents in National Archive and National library was done, diligently.

It took also several months to complete inspection of technical and spatial understanding of the building. As many historic buildings of Stone town, Tippu Tip house do not have plans, sketch or any technical documentation from its builders. The only existing plan was the one drawn in 1982 by the team of young Architect, Flemming Aalund. With the staff from the STCDA, the new digital plans were prepared. With the help of these plans, the technical analysis of the building was realized quickly and systematically.

The design of the new proposal was done under the leadership of the author with a team of students from KTH (Royal Institute of Technology) and staff from department of planning and conservation of STCDA.

Tippu Tip house is a public building. As such, different stakeholders are involved in its management. For the sustainability of the new proposal, different stakeholders were consulted to have their ideas and opinions. These are Department of House and Settlement, Ministry of Construction, Water, Energy, and Lands; Department of Tourism; Local government of the Region; Zanzibar Municipal Council; Inhabitants; Tenants of the Tippu Tip house and NGOs.

¹⁴ BRODE (Heinrich), *Tippu Tip*, Berlin, London Arnold, 1907

Sustainability of conservation and maintenance plan

For sustainability, the majority of stakeholders proposed two ideas. The first is a re-adaptation of the building. It seems clear to them that the existing uses of the building are not sustainable. The creation of multi-families residential apartment is not adaptive to the spatial configuration of the building. The current situation creates over charge on the building in term of services areas and living spaces.

The second is a fund rising mechanism and future maintenance plan. For the plan to be sustainable, it needs its own financial mechanism. For this reason, stakeholders were very positive to the idea of establishing commercial spaces and services in the building to generate fund for its future maintenance. Hence, a small museum, a commercial area, and restaurant-café were designed in the new proposal.

It was for the same objective that an idea of creating a management team for maintenance was proposed. Yet without knowing the form of financial resources for the conservation and maintenance work, it is difficult now to imagine the composition of management team.

Discussion & Conclusions

Two issues have been a problem since the beginning of the preparation of this plan: future of the existing tenant and financial resources. The actual tenants do not have legal bill known by the government. Yet, as some of them have spent more than five year, they tend to give themselves a right of occupation. It is difficult to discuss the compensation with these tenants. It is more difficult to expel them without proposing any alternative.

The financial resource is also another complex issue as the government is not willing to be the only fund-riser of the project. So far another fund-riser has appeared but with new proposal: Creation of Music Academy. Although the project is different from the existing proposal, one hopes that the essence of the current project, to make Tippu Tip a public building for social and cultural activities will be maintained in any future proposal.

The budget of the project has been prepared but lack of proper fund makes it changeable. For this reason, it is not included in this plan. The estimate is about TZ Sh. 400 Million (\$ 300 000)

What kind of policy for conservation and maintenance of Cultural Heritage in Zanzibar

The process of preparation of conservation and maintenance plan for Tippu Tip house has revealed an urgent need of a “Conservation & Heritage Policy” in the Islands. Tippu Tip house is one among the 26 Grade 1 building in the Islands, as per conservation guideline which is applied to Stone town area only. Yet the Islands have also important historic buildings outside Stone town. All of these important monuments need proper management and maintenance plan.

Currently two institutes are responsible for the management of the heritage in Zanzibar. Department of Antiquities is responsible for the historic buildings outside Stone town and STCDA is responsible for the management of the heritage site, namely Stone town of Zanzibar. However, both of these institutes do not have proper financial means to sustain the cultural heritage in their custodian, consequently, most of the monuments and heritage in Zanzibar are in very poor condition.

There is an urgent need to formulate a heritage policy for conservation and maintenance of the historic buildings and monuments in the Islands, especially in the World Heritage Site. The policy should clarify the management issues and identify financial resources to sustain future projects. It should also take special measure to enhance awareness in this field as well as promote conservation and heritage education.

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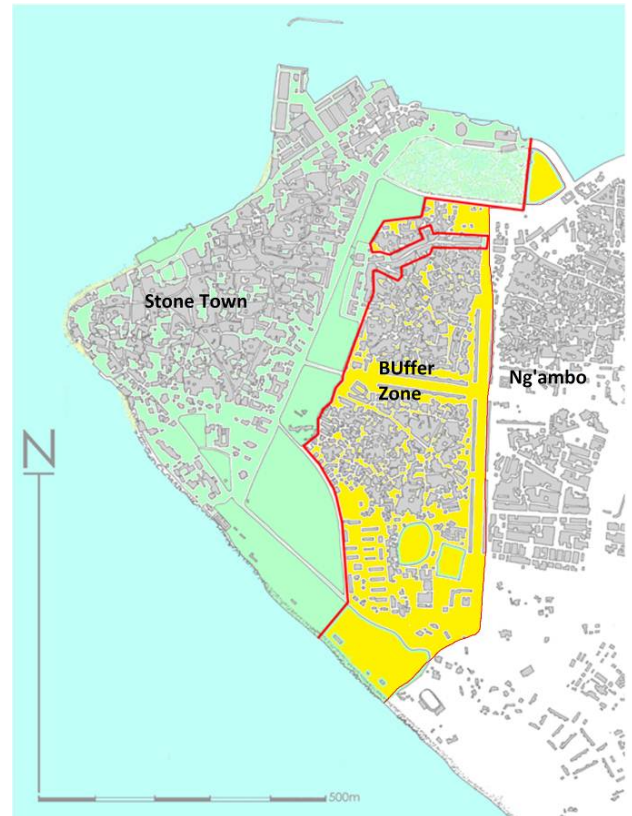
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Appendix 1

Boundaries of the Stone town, World Heritage Site and its buffer zone:



Appendix 2

11 zones of the stone town, Shangani in red colour at the western edge

